



BUILDING DIVISION
437 N Wasatch Drive
Layton, UT 84041

www.laytoncity.org
Phone: 801-336-3760
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RESIDENTIAL - ADDITION / ATTACHED GARAGE

The information contained in this packet is for RESIDENTIAL ADDITIONS / ATTACHED GARAGES. This not intended to be a complete list of requirements.

Note: 2-story structures require plans stamped by a structural engineer.

GENERAL INFORMATION

1) PERMITTED SIZE:

- a) Overall footprint of all structures and hard surface areas (i.e., driveways, sidewalks, concrete slab areas, decks, covered patios, carports, sheds, etc.) located in the rear yard may not cover more than 25% of the rear yard area.
- b) No more than 60% of entire lot shall be covered by hard surface.
Definition of Hard Surface: Hard surface includes all structures, driveways, sidewalks, patios, carports, decks, gazebos, porches, concrete slabs. (Pools are not considered hard surface.)

2) PERMITTED HEIGHT:

- a) Additions/Attached Garages shall not exceed the maximum height limit allowed for a single family dwelling allowed in your specific zoning district. (Title 19, Table 5-1)

4) PERMITTED LOCATION:

- a) Attached garages are required to meet the same minimum setbacks of the primary structure for your specific zoning district.
- b) No Addition/Attached Garage shall be located within the required setback areas. (Title 19, Table 5-1)

5) PROJECTIONS INTO REQUIRED YARDS:

- a) Ordinary projections of chimneys, flutes, lintels may project up to two feet (2') into required front, rear and side yard spaces.
- b) Eaves, gutters and roof overhangs may project up to four feet (4') into required front, rear, and side yard spaces.
- c) Cantilevers shall not exceed twenty percent (20%) of any wall length when encroaching a setback and shall not project into any required yard space more than two feet (2') when at the minimum setback.
- d) Awnings may extend into the required side yard setback three feet (3') and into the front and rear setbacks five feet (5').
- e) Permanent roof or canopy shall be allowed in the rear yard and may extend a maximum of ten feet (10') into the required rear yard setback. Unwalled decks, balconies, porches or similar may project up to 4' into front or side yard setbacks.

5) LAND USE RESTRICTIONS:

- a) Additions/Attached Garages should not be placed within any public utility or drainage easements to avoid potential conflicts.

6) APPLICABLE BUILDING CODES:

- a) 2012 International Residential Building Code (IRC); 2011 National Electrical Code (NEC)
- b) Layton City Municipal Code

7) GENERAL QUESTIONS:

- a) Contact the Planning Division at 801-336-3780 Monday- Friday 8:00 a.m. – 5:00 p.m. to verify requirements and limitations within your zone.
- b) Contact the Building Division at 801-336-3760 Monday – Friday 8:00a.m. – 5:00p.m. for building code questions.

PLAN SUBMITAL CHECK LIST – Addition / Attached Garage

1. **BUILDING PERMIT APPLICATION - Must be applied for online at www.laytoncity.org and include the following:**
 - a) Property address, lot number and subdivision name
 - b) Contractor name, phone number, address and Utah State contractor's license number or Owner/Builder name
 - c) Owner's name, phone number and address
 - d) All subcontractor names, phone numbers, addresses and Utah State contractor's license numbers
 - e) Valuation of project (cost of materials and labor)
2. **PLOT PLAN (SITE PLAN) - Two (2) full sets, drawn to scale (1" = 20' min.) with the following details:**
 - a) Lot dimensions & lot size (total square footage)
 - b) North Arrow
 - c) Easements (*Public Utility, Drainage, etc.*)
 - d) Building footprint of all structures, both new & existing, located on the property
 - e) Setbacks (distances) between all structures and from structures to all property lines
 - f) Topographical information for sloped lots 10% or greater.
 - g) Location of all retaining walls, existing and/or new. (*Engineering required for all retention exceeding 4'.*)
 - h) Show all hard surface areas, new and existing. (*See Hard Surface definition on page 1*)
3. **EXTERIOR ELEVATIONS – Two (2) full sets, drawn to scale (1/8" = 1'0" recommended) with the following details:**
 - a) Height of structure from grade to roof peak and grade to eave
 - b) All four elevation views (front, rear, left side, right side) including existing house
 - c) Identify finish materials to be used to cover exterior
4. **FOUNDATION PLANS with the following details:**
 - a) Size and depth of footings, foundation, caissons
 - b) Reinforcing size and spacing
 - c) Anchor bolt size, spacing and exterior holddown strap type and location
5. **BUILDING PLANS - Two (2) full sets, drawn to scale (1/8" = 1'0" recommended) with the following details:**
 - a) Dimensions of Addition / Attached Garage
 - b) Floor plan of addition including existing house & label all rooms as to use
 - c) Location and size of any new openings (windows, doors, etc.) & any existing windows affected by the addition
 - d) Indicate roof rafter or manufactured truss size, span, direction and anchoring
 - e) Wall framing info: size and spacing of studs (2X4, 2X6, 16" O.C., etc.); header sizes, beam sizes and spans, etc.
 - f) Wall and attic insulation R-values and foundation Insulation info for slab on grade. REScheck may be required.
 - g) Location and size of venting for crawl spaces or details for unvented crawl spaces
6. **ELECTRICAL, PLUMBING & MECHANICAL PLANS with the following details:**
 - a) Location of sub-panel(s), lights, switches, outlets (*interior & exterior*), exhaust fans, etc.
 - b) List wire sizes, breaker sizes, etc. Label GFCI and AFCI outlets
 - c) Location of plumbing and fuel-burning appliances and fixtures; mechanical ductwork and vent locations
 - d) Location and size of combustion air ducts

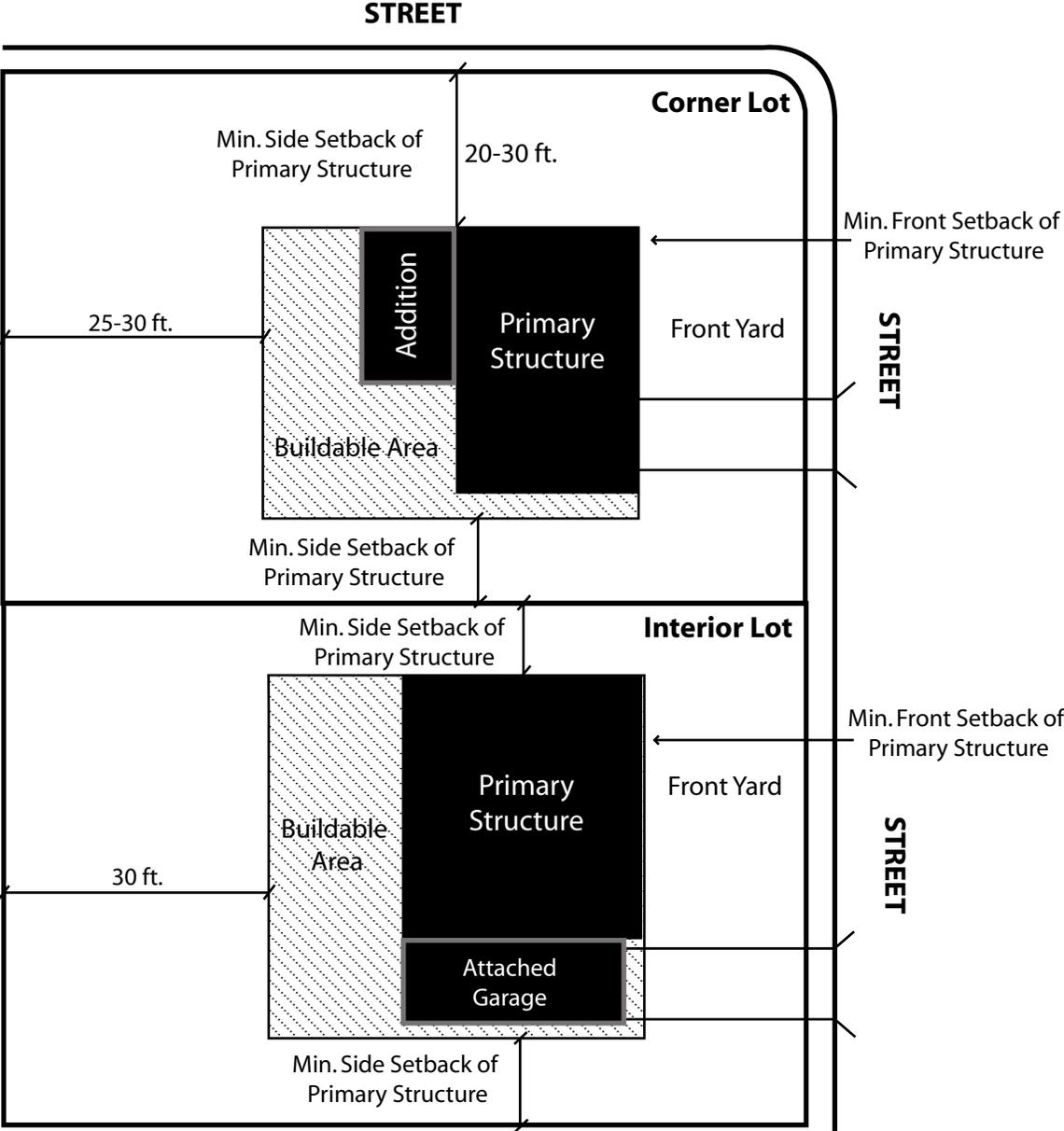
REQUIRED INSPECTIONS:

- 1) **Footing & Foundation:** Inspection on each is done after the placement of the footing/foundation forms and all necessary rebar is in place, but before any concrete is poured. Setbacks are verified at time of footing.
- 2) **4-Way Rough:** Inspection done after framing is complete, any electrical, plumbing, mechanical is installed, roof covering on, windows and doors installed but prior to installing insulation and/or covering any work.
- 3) **Insulation:** Inspection done after insulation is installed and prior to sheetrocking.
- 4) **Final:** Inspection done after all work on the interior and exterior is complete; all hardware and equipment installed but before the structure is used/occupied.

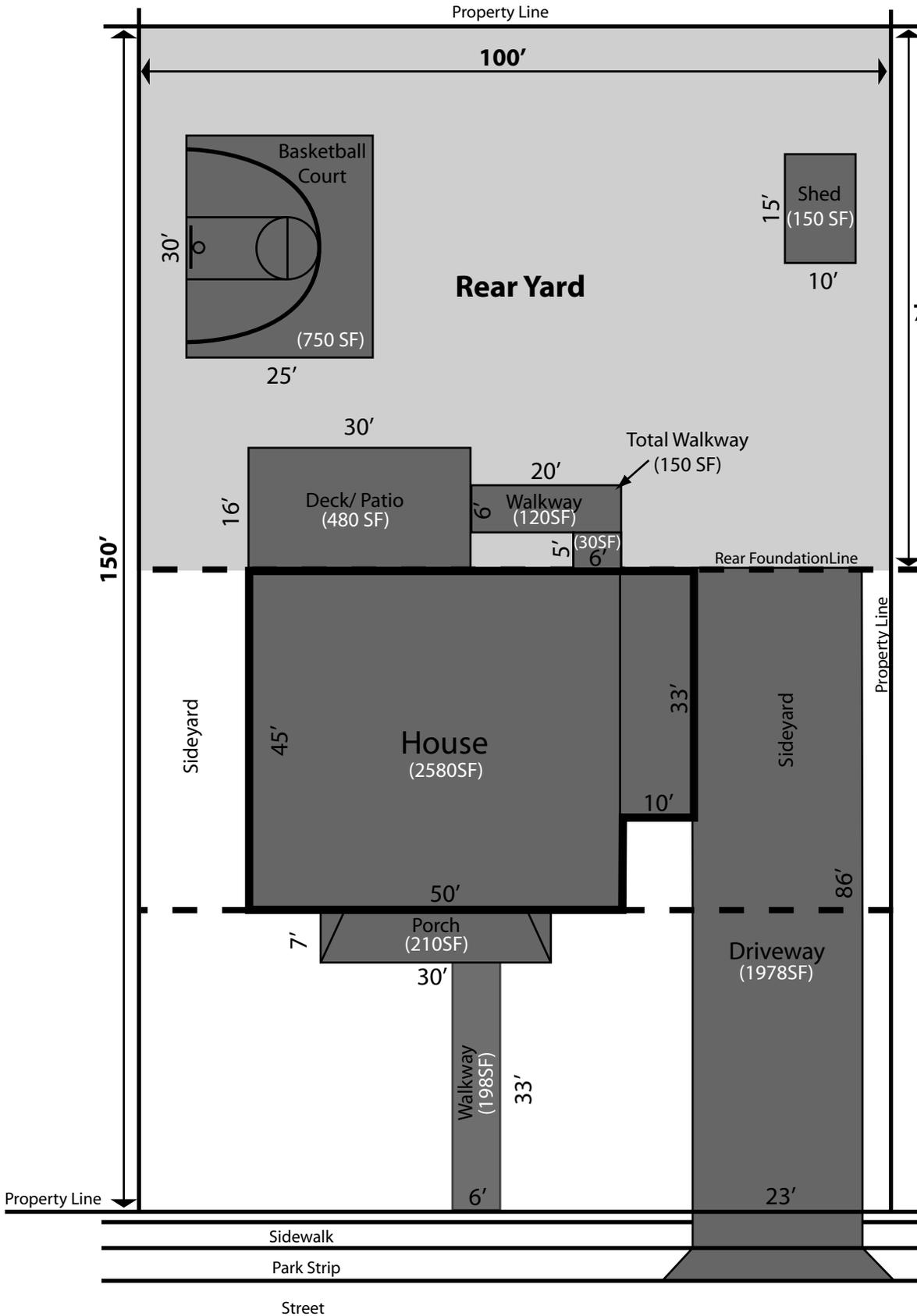
INSPECTION SCHEDULING:

- 1) A minimum 24-hour notice is required for all inspections. To schedule an inspection, call 801-336-3760 and have your permit number and address ready.

Enclosed Addition/ Attached Garage



Maximum Hard Surfaces Coverage (single-family lot)



Maximum Hard Surface

Entire Lot 60% Max.
Hard Surface

Rearyard 25% Max.
Hard Surface

Maximum Hard Surface Allowed for this Lot

Total Lot

Total Yard-15,000 SF
Max. Hard Surface Allowed
60% = 9,000 SF

Rear Yard

Total Rear Yard-7,000 SF
Max. Hard Surface Allowed
25% = 1,750

Calculations

Total Lot Hard Surface
Basketball Court 750 SF
Walkway 150 SF
Deck/ Patio 480 SF
Walkway 198 SF
Shed 150 SF
Porch 210 SF
House 2580 SF
Driveway 1978 SF
6,496 SF
6,496 SF/15,000 SF = 0.43
Total Lot = 43%

Rear Yard Hard Surface
Basketball Court 750 SF
Walkway 150 SF
Deck/ Patio 480 SF
Shed 150 SF
1,530 SF
1,530 SF/7,000 SF = 0.22
Rear Yard = 22%

Lot Size-15,000 SF

Scale: 1"=20'