



Community • Prosperity • Choice



Historic Downtown Layton



ECONOMIC DEVELOPMENT DEPARTMENT
ECONOMIC SNAPSHOT - JULY 2016

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Heritage Square at Midtown



TABLE OF CONTENTS



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INTRODUCTION	1
ECONOMIC PROFILE	2
TRANSPORTATION	12
INCENTIVES	15
QUALITY OF PLACE	18
EDUCATION	20
CONTACT INFORMATION	22

WELCOME TO LAYTON!

Layton City is a well established leader in Utah and provides businesses the flexibility and support needed to grow at their distinctive rates. Layton boasts well-planned industrial areas, strong retail centers, accessible office space, high-speed UTOPIA fiber optic infrastructure and the primary access to Hill Air Force Base. The City has a young, well-educated and diverse workforce that fits many business needs. Strategically positioned along the Wasatch Front, Layton is 25 minutes from the Salt Lake International Airport, 20 minutes from Salt Lake City, has convenient access to multiple interstate highways and a FrontRunner commuter rail station.

When we speak of Layton, we speak of “billions”. The regional market strength of Layton continues to bring reinvestment and new retail/industrial/office tenants. Layton contributed \$1.42 billion worth of total taxable sales activity in 2015, the second largest market north of Salt Lake City, and above the state average growth rate. Hill Air Force Base had a \$3.3 billion economic impact in 2015 and began receiving the first of 72 F-35’s in fall 2015, strengthening the Base’s future success and economic infusion to Layton City. The 650-acre East Gate Business Park is poised to accept over one million square feet of new industrial development and is primed for defense, aerospace, and composite companies. In 2015, Layton had a total assessed value of \$6 billion.

It is an exciting time to be located in Layton and we look forward to discussing your business growth needs. Do not hesitate to call the Economic Development Department at (801) 336-3760 with any questions you may have. You can also visit our webpage at www.laytoncity.org.

kandersen@laytoncity.org



Bob J Stevenson
Layton City Mayor

Economic Profile



Harris Plaza

ECONOMIC PROFILE



Layton City is a major employment center for Davis County and Northern Utah. Immediately adjacent to Hill Air Force Base, the largest single site employer in Utah, Layton also includes major employment sectors such as healthcare, education, finance, hospitality, manufacturing, retail and broad array of additional employers. With additional growth in businesses, transportation, and population, Layton continues to strengthen economically.

Hill Air Force Base (HAFB)

With 72 F-35's, which began arriving in Fall, 2015, HAFB continues to grow and be the center of economic activity for Layton and all of Utah.

- \$3.3 billion in economic impact
- 23,969 personnel (largest single site employer in Utah)
- 3 squadrons (72) F-35's, the Air Force's most advanced fighter plane, resulting in 475 new fighter technicians and \$100 million in construction.
- New intercontinental ballistic missile (ICBM) maintenance contract - requires 100's of engineers, computer programmers, etc.
- Major Layton Defense Contractors: Boeing, General Atomics, General Dynamics, Northrop Grumman, Lockheed Martin, etc.

East Gate Business Park

Located just outside the east gate of HAFB, the East Gate Business Park is a prime location for aerospace, defense, and composite manufacturers. With Janicki Industries and KIHOMAC as initial tenants, the 700+ acres of additional land is primed to accept over one million sq/ft of new industrial development. Sites are shovel ready, with all utilities in place, with UTOPIA fiber optic infrastructure providing 1GB+ service.

Additional Industrial

Beyond the defense contractors and East Gate tenants, Layton has several industrial tenants, including:

- Kroger Manufacturing
- Frito Lay
- RBH Sound
- Wolf Peak International
- UST Corporation

Retail

Layton is the primary retail provider in Davis County and one of the strongest in the State of Utah. Major retailers include:

- Layton Hills Mall - Macy's, JCPenney's, Dick's Sporting Goods, SeaQuest Interactive Aquarium, etc. Target, Walmart, Sam's Club, Barnes & Noble, Lowe's Home Improvement, Home Depot, etc. Multiple Car Dealerships

Hospitality

With Davis Conference Center and immediate adjacency to Hill Air Force Base, Layton has a bustling hospitality industry, which includes:

- 70,000 sq/ft Davis Conference Center
- 1,000+ hotel rooms & 2 movie theaters
- 150+ restaurants & 3 golf courses
- 2 movie theaters

Healthcare

Healthcare providers have selected Layton to be their center for operations, including:

- Davis Hospital & Medical Center – 207,000 sq/ft 220-bed facility
- Intermountain Layton Hospital – 320,000 sq/ft broke ground April, 2016
- Intermountain Healthcare Clinic
- Tanner Clinic - Davis County's largest clinic with 80+ physicians. A 36,000 sq/ft addition completed Fall, 2015



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QUICK FACTS

Davis County Population (2014) 329,692

Weber County Population (2014) 240,475

Layton Population 2015 Est.

Total Population 74,660

Total Households 24,571

Layton Daytime Employment Population (2013) 21,490

Educational Attainment (2014)

	Layton	Utah
High School Graduate or Higher	93.9%	91.0%
Bachelor's Degree or Higher	31.8%	30.6%

Layton Household Income (2014)

Average \$ 81,210

Median \$ 66,665

Median Age 29.7

Average Family Size 3.5

Unemployment Rate 3.1%

Layton Age Distribution

	2014 Est.	%
0-4	6,604	9.5%
5 - 9	6,746	9.7%
10 - 14	5,812	8.4%
15 - 19	4,934	7.1%
20 - 24	5,578	8.0%
25 - 34	10,735	15.4%
35 - 44	9,084	13.1%
45 - 54	7,511	10.8%
55 - 59	3,921	5.6%
60 - 64	3,110	4.5%
65 - 74	3,256	4.7%
75 - 84	1,784	2.6%
85 +	433	0.6%

Layton Households by Income

	2014 Est.	%
Less than \$10,000	769	3.5%
\$10,000 - \$14,999	836	3.8%
\$15,000 - \$24,999	1,444	6.6%
\$25,000 - \$34,999	1,640	7.5%
\$35,000 - \$49,000	2,767	12.7%
\$50,000 - \$74,999	4,979	22.8%
\$75,000 - \$99,999	3,718	17.0%
\$100,000 - \$149,999	3,539	16.2%
\$150,000 - \$199,999	1,305	6.0%
\$200,000 +	841	3.9%



Layton Taxable Sales

\$1.42 billion (2015)

Hill Air Force Base (2014)

Personnel:

23,707

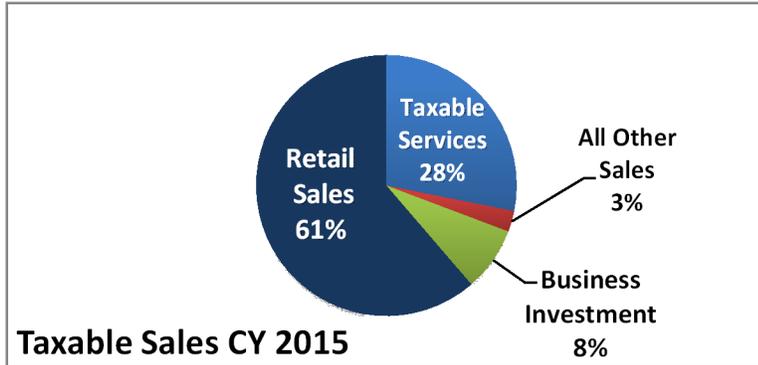
Economic Impact:

\$3.3 billion

ECONOMIC DASHBOARD



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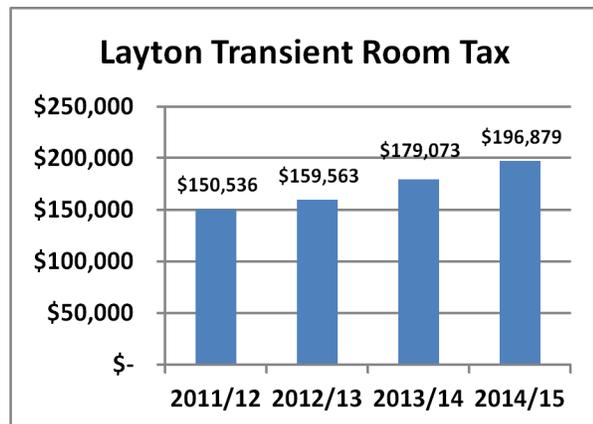
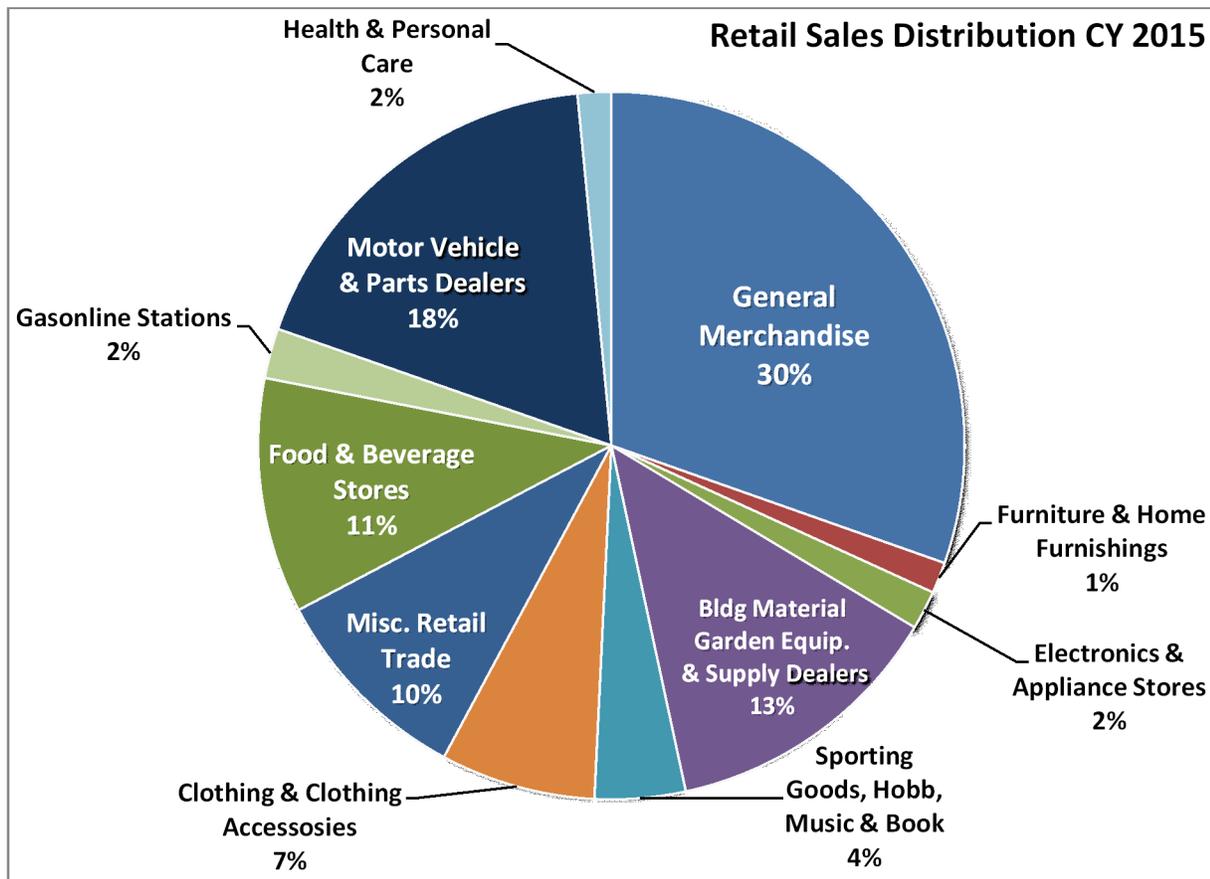


All Other Sales – Public Administration, Special Events, Private Motor Sales, etc.

Business Investment – Agriculture, Mining, Construction, Manufacturing, etc.

Retail Sales – Motor Vehicles, Furniture, Food & Beverage, Clothing, Gasoline, etc.

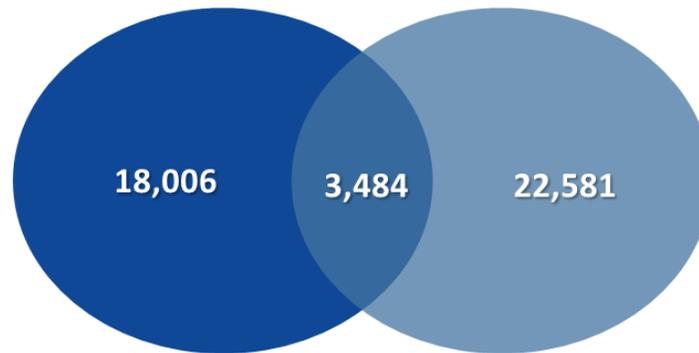
Services – Utilities, Information, Finance & Insurance, Real Estate, Management etc.



Layton New Vehicle Sales				
	2012	2013	2014	2015
Passenger	1,465	1,394	917	893
Truck	1,068	1,421	2,114	2,265
Total	2,533	2,815	3,031	3,157

Layton Motor Vehicle Taxable Sales	
2012	\$125,986,156
2013	\$129,830,984
2014	\$137,340,885
2015	\$153,842,118

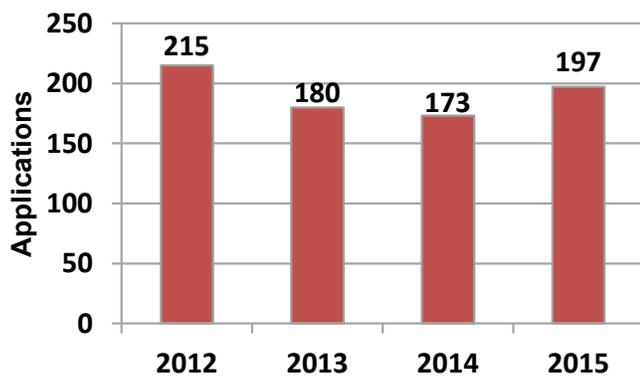
Inflow/Outflow Job Count



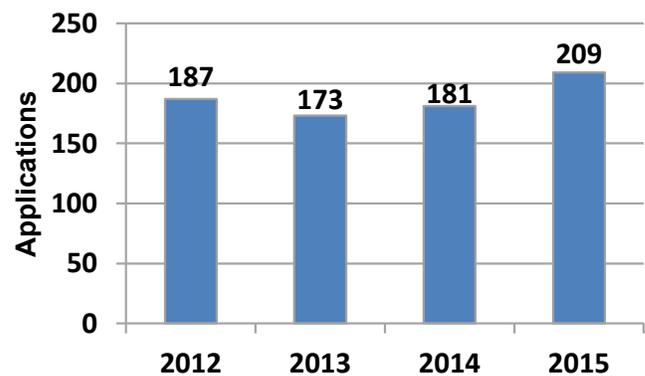
2013 U.S. Census

- Live Outside Layton, Employed in Layton
- Live & Employed in Layton
- Live in Layton, Employed Outside

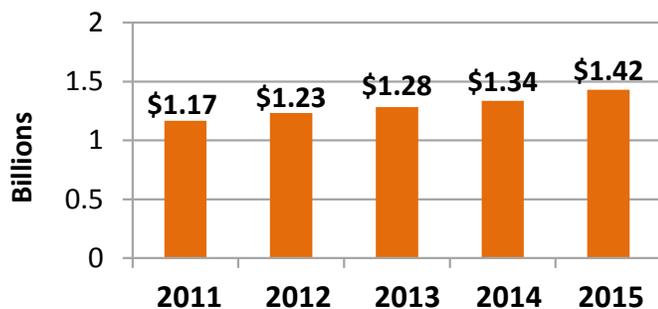
Commerical Licenses



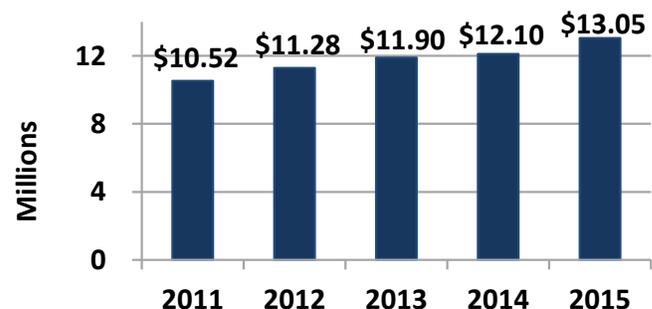
Home Occupations Licenses

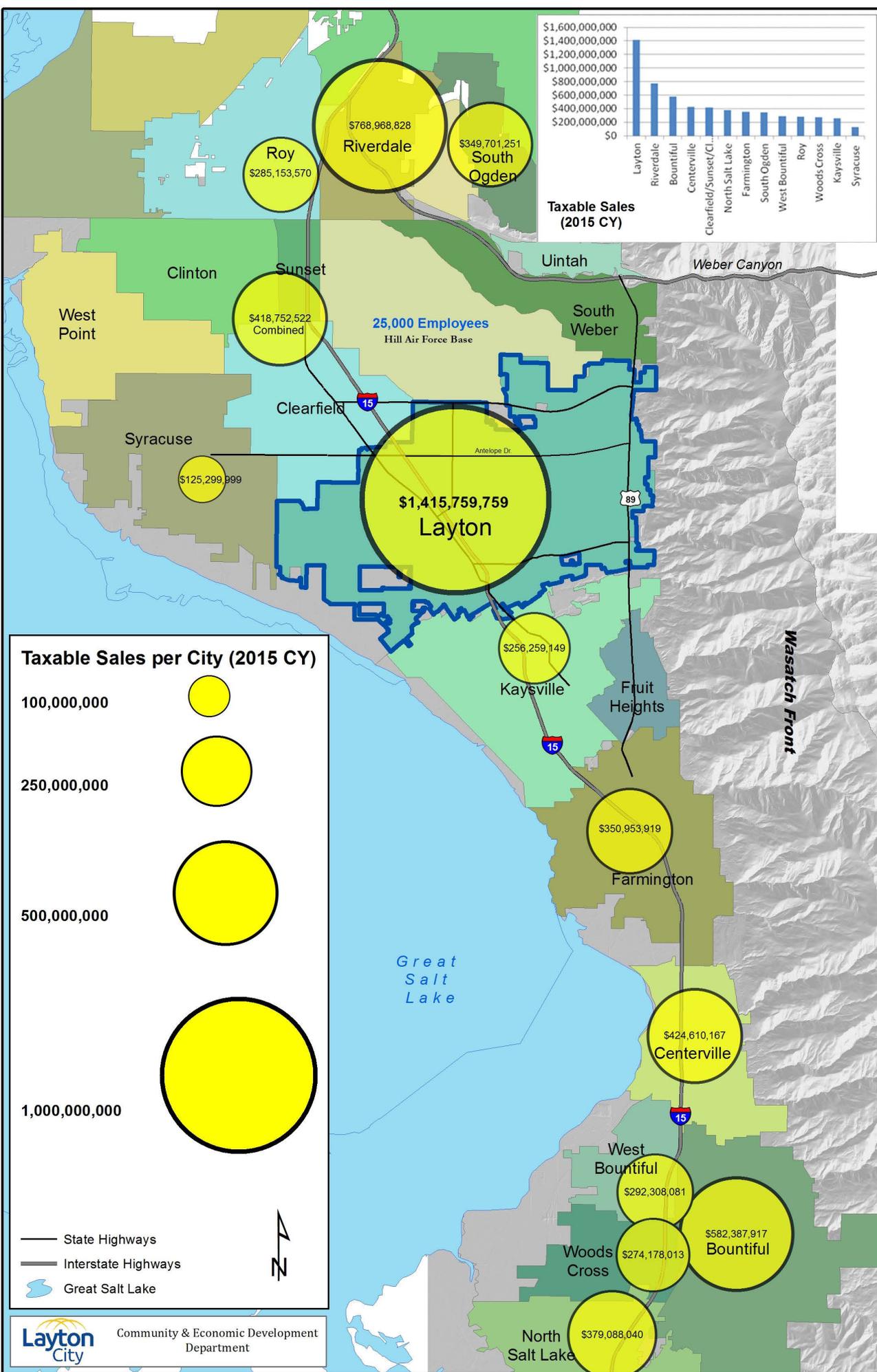
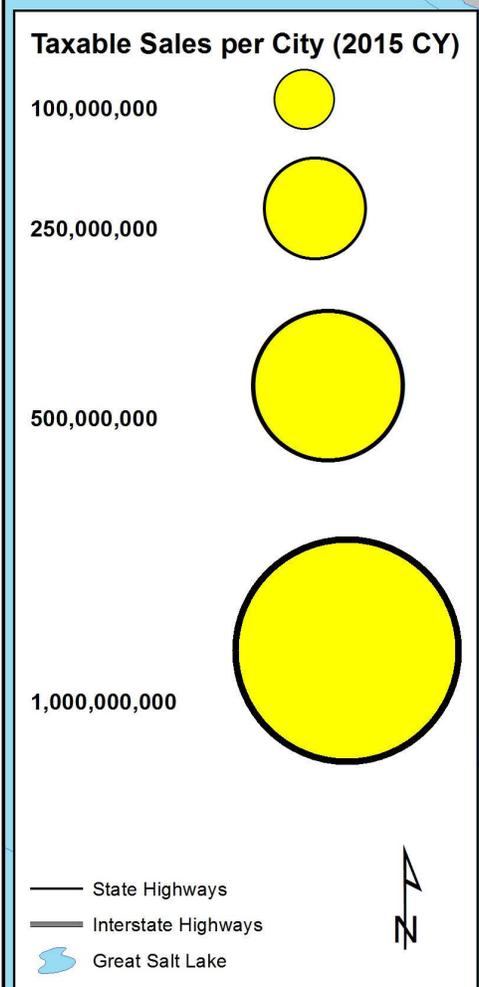
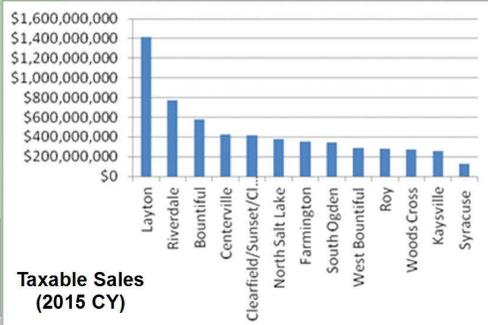


Total Taxable Sales



Sales Tax Revenue





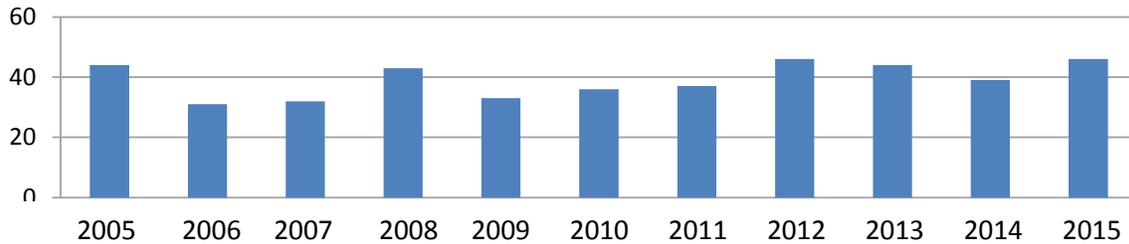
BUILDING PERMIT ACTIVITY



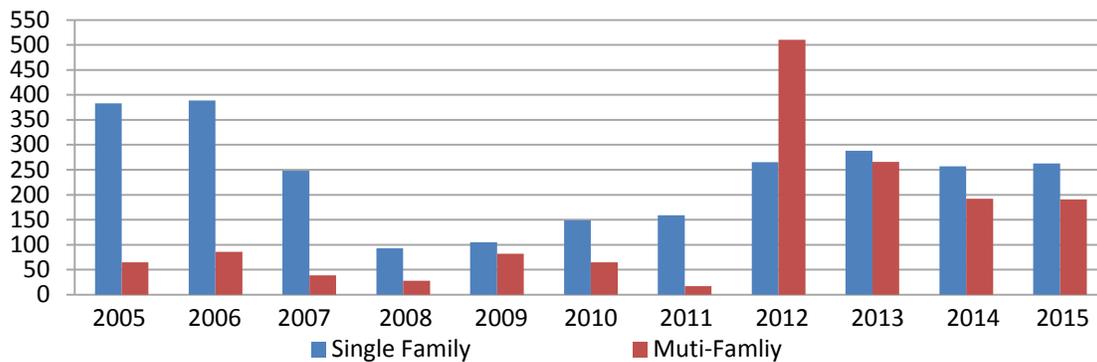
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NEW BUILDING PERMITS

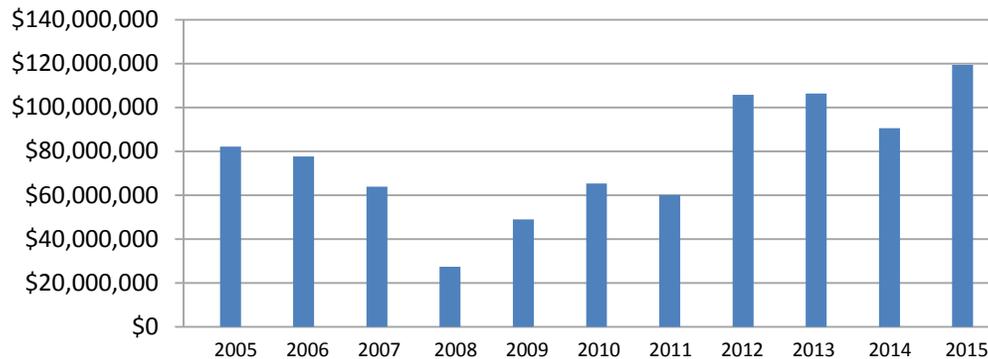
Commercial Permits



Residential Permits

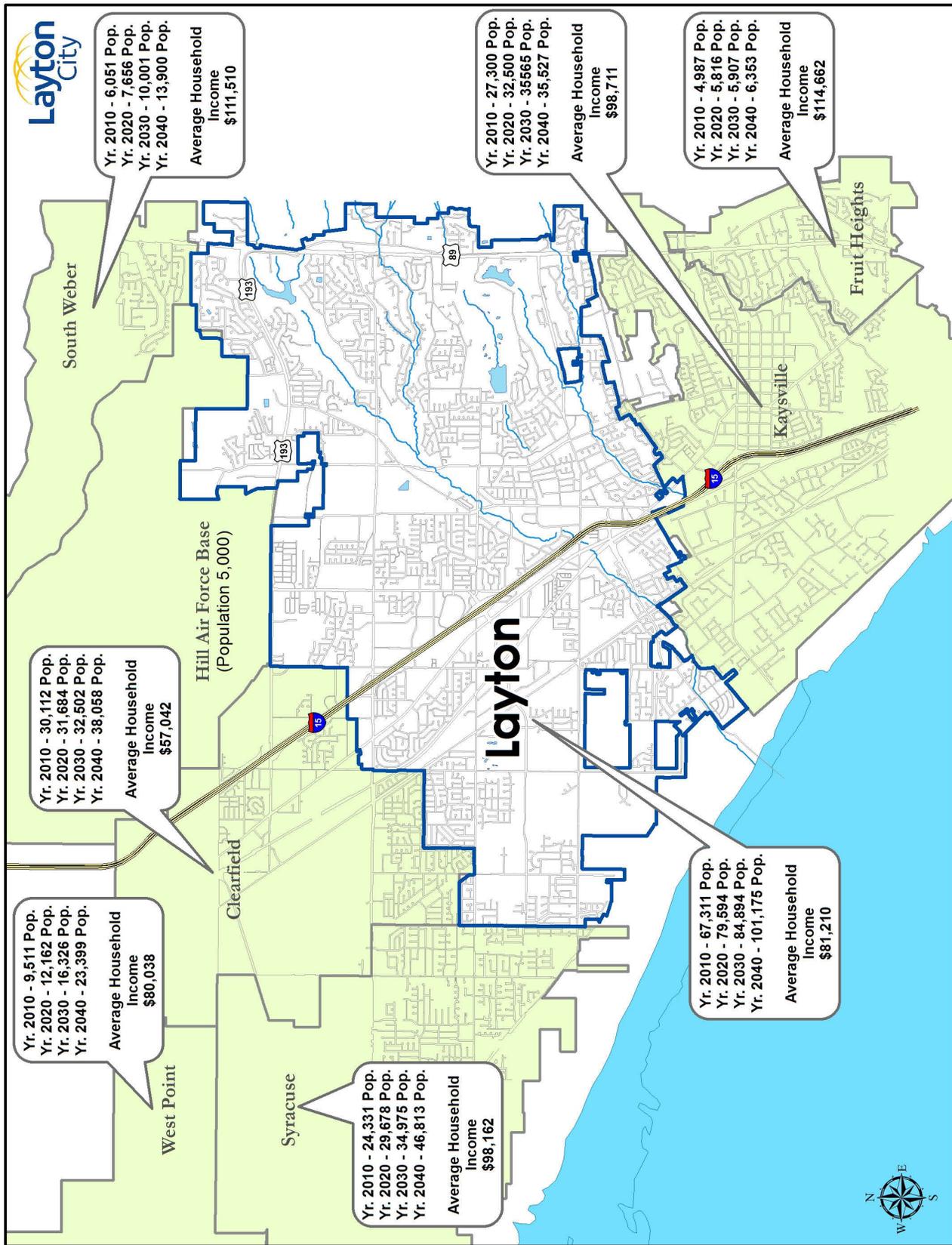


Total Building Valuation



Building Activity

Year	New Single Family	New Multi-Family	Commercial Permits	Total Value of Permits
2005	383	65	44	\$82,142,338
2006	389	86	31	\$77,584,679
2007	248	39	32	\$63,848,350
2008	93	4/28	43	\$27,305,939
2009	105	15/82	33	\$48,993,607
2010	149	8/65	36	\$65,249,235
2011	159	4/17	37	\$60,038,486
2012	265	34/510	46	\$105,710,167
2013	288	13/266	44	\$106,245,960
2014	257	8/192	39	\$90,582,716
2015	263	37/191	46	\$119,315,434



Layton City and Adjacent Cities Population Data

Legend

- Interstate 15
- Layton Boundary

2015 Total Population of 7 City Area and HAFB	182,411
2040 Projected Population	265,225



Hill Air Force Base

2015 Certified Tax Rates

Davis County School District	(.008259)
Davis County	(.002161)
Layton City	(.001896)
North Davis Sewer District	(.001025)
Davis County Library	(.000361)
Weber Basin Water	(.000199)
Davis County Mosquito Abatement	(.000124)
Total	(.014025)

Layton City is one of the few Utah cities with Moody's Aaa Rating



Coming To Layton




**Intermountain
Layton Hospital**
Broke Ground
April, 2016

Intermountain Layton Hospital




INTERACTIVE AQUARIUM
Opening Fall, 2016
at the Layton Hills Mall

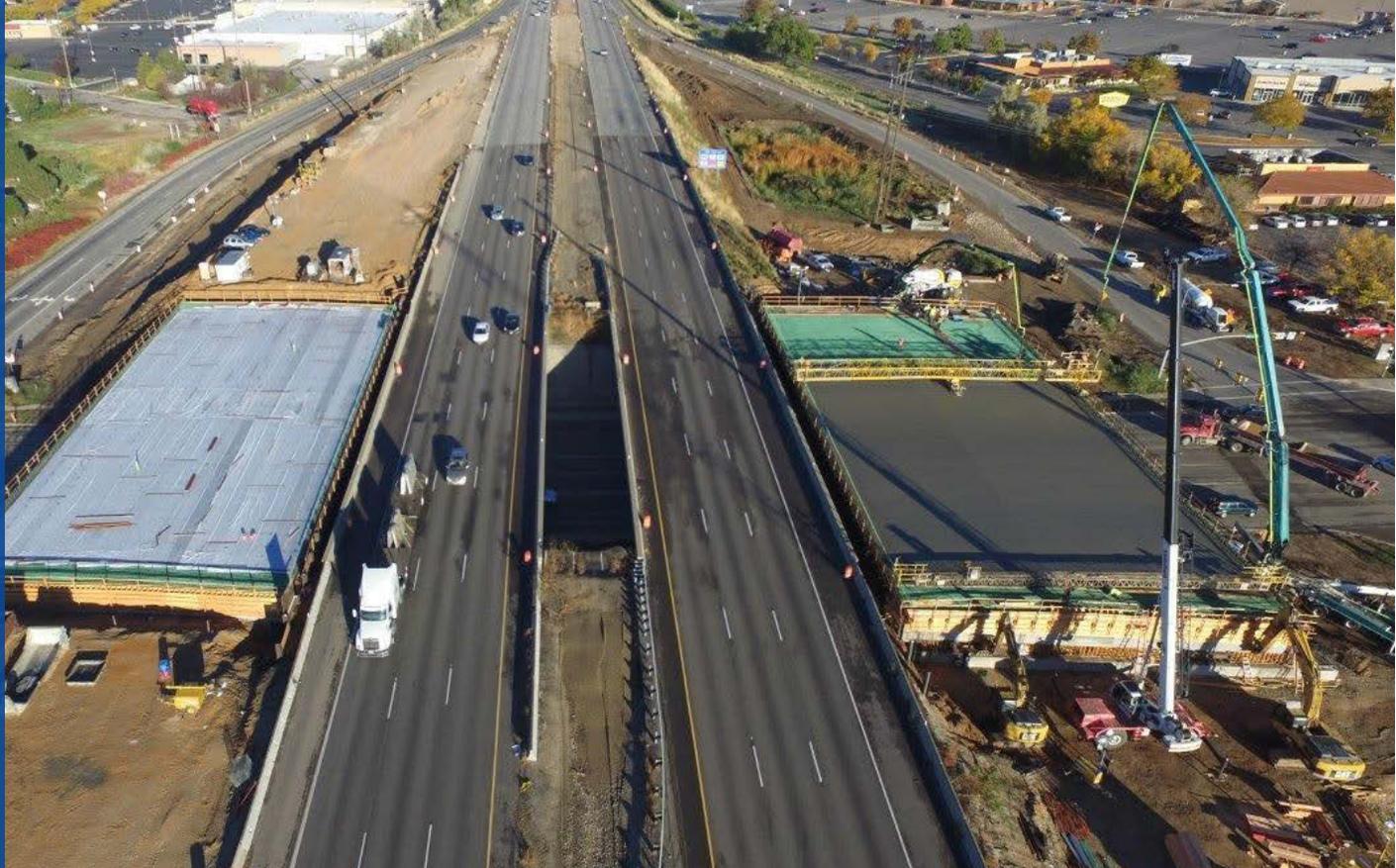
Midtown - Layton Hills Mall



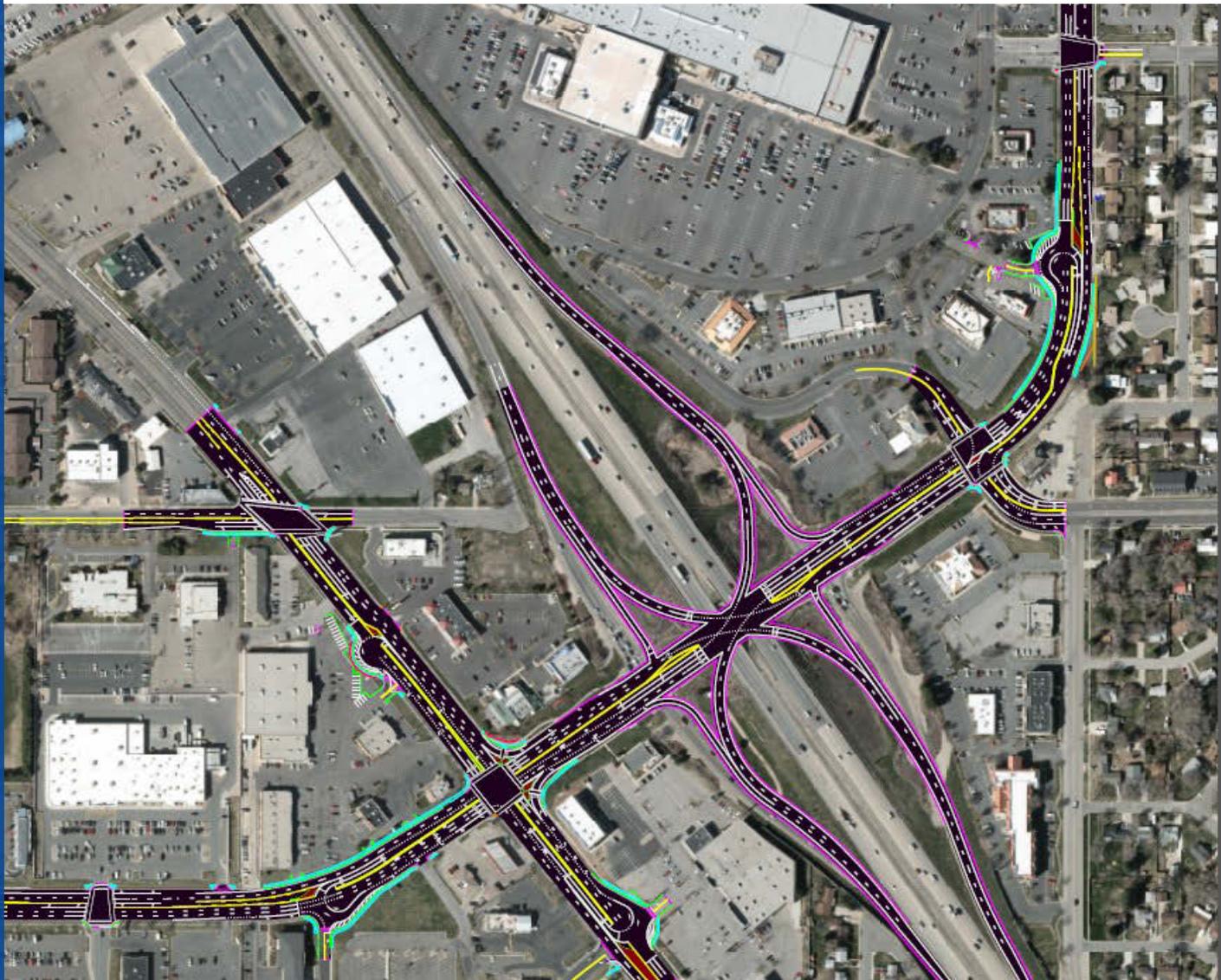

Opening Fall, 2016
KIHOMAC
130,000 sq/ft
aerospace manufacturer

East Gate Business Park - KIHOMAC

Transportation



I-15 & Hill Field Rd Interchange Reconstruction - Opening 2016





Centrally located in Davis County, UT, Layton offers access to a quality network of roads, commuter rail and air transportation, linking businesses to any major market.

Airport

Salt Lake
International Airport

Commuter Rail

FrontRunner

Highways

I-15, I-80, I-84
US-89

UTA Bus Routes

455, 456, 470, 472,
473, 477, 626, 627,
640, 664, 665

Coming, 2016: Free Midtown Trolley & Snowbasin Ski Bus



TRAFFIC COUNTS



AVERAGE ANNUAL DAILY TRIPS (AADT)

Source:
UDOT 2014

Kay's Crossing



Janicki Industries



Historic Downtown Layton Train Station



Incentives

Layton City Incentives

Tax Increment Financing (TIF)

Redevelopment Areas (RDA) are created for specific areas to encourage development by providing a financing mechanism for the reinvestment of new property tax generation, or tax increment.

Each participating taxing entity agrees to contribute a specified amount of future growth in property tax revenue for a defined period of time. New development in an RDA generates tax increment, which is the growth in new property tax vs. an established base value. Resulting tax increment is used to encourage specific development projects, facilitate making properties "shovel ready", construct public infrastructure, etc.

The Redevelopment Agency of Layton City currently manages two redevelopment areas—East Gate Economic Development Area and the South Main/South Fort Lane Redevelopment Area.

Fast Track Permitting Process

Layton City has a motivated and willing staff to assist developers and builders navigate the permitting process. With weekly Development Review Meetings, responsive Planning Commission and City Council, knowledgeable and flexible staff, Layton City commits to assisting developments meet tight timelines.

For More Information Call:
801-336-3780



Davis County Incentives

Industrial Revenue Bonds (IRB)

IRB are available and issued through local government entities. There is a \$20 million cap per issue and \$150 million total annual state allocation cap. Funds must be used for construction and/or equipment, capital expenditures. They cannot be used for overhead costs.

Recycling Market Development Zone (RMDZ)

Business that collect, process, distribute, or use recycled materials in their manufacturing process can earn economic incentives by locating in these zones or by applying for a new zone. Incentives include the following:

- 5% state tax credit on machinery and equipment
- 20% state tax credit of up to \$2,000 on eligible operating expenses
- Technical assistance from state recycling economic development professionals

Business Development Loan Fund (BDF)

BDF is a loan program run through the Davis Council of Governments. Ability to loan is based on the funding available at the time. Minimum amount is \$50,000, with the highest amount loaned at \$1.2 million.

The BDF works closely with banking and financial institutions to assist in partnership loans. Quick turn around times, low origination fees and flexible terms make BDF loans attractive. They are full recourse loans requiring personal guarantees, collateral, and are generally used for gap financing. Funds are available for companies that difficulty obtaining traditional financing, yet have first dollar revenues, are profitable and present growth potential.

For More Information Visit:
www.co.davis.ut.us/economic-development



Davis
COUNTY

INCENTIVES



State of Utah Incentives

Industrial Assistance Fund (IAF)

A post-performance grant for the creation of high-paying jobs in the state. Companies expanding or relocating in Utah may apply for incentive grants from the IAF. The IAF is a discretionary fund allocated by the state legislature to help encourage job growth in Utah. Incentives are paid on a post performance basis after jobs are created in yearly increments. Jobs must be retained over the life of the project. The length of the grant is typically five years with an incentive range of \$1,000 to \$3,000 per new job. Three categories or classifications:

- **Urban** – Creating at least 50 jobs paying 125% of the county average wage
- **Corporate Headquarters** – Relocating to Utah where we are competing against other states for the business
- **Economic Opportunities** – Relocating or expanding in Utah, ability to expend funds on employees, contractors, vendors and others proportionate to funding received. The IAF Funding ratio is 2:1 for 5 years and displays the ability to repay loan through new business growth.

Economic Development Tax Increment Financing (EDTIF)

A post performance refundable tax credit based on a percentage of "new state revenue" generated by a new project, including the payroll tax of the new employees, corporate income tax and sales tax.

Incentive is based on number of new employees, wage level of new jobs (125% of county average wage), capital investment in the project, purchases from local suppliers, location of the project and type of industry.

Preference is given to the states cluster centers, Aviation and Aerospace, Defense and Homeland Security, Life Sciences, Outdoor Products and Recreation, Energy and Natural Resources, Financial Services, and Composite Materials. A local incentive and creation of an Economic Development Zone at the project site are requirements of this incentive.



For Incentive Requirements:
www.business.utah.gov/programs/incentives



Custom Fit State Training - DATC

For More Information Contact 801-593-2318

Custom Fit Training provides flexible and customized training to businesses in Davis and Morgan counties. This unique program offers the benefit of state-of-the-art training and development, customized to meet specific business needs, at an affordable cost.

- **Funding:** Up to 40% of training costs may be paid for your company
- **Customer Service:** A designated training representative is available to help determine your company's training needs and obtain competitive bids
- **Customization:** Training is customized to meet the needs of your organization
- **Ease:** Training programs can be established quickly in-person or via email, fax, or on the phone
- **Economic Development:** Your company will be assisted with sustaining growth for the betterment of Davis and Morgan Counties
- **Flexibility:** Training can be held at the Davis Applied Technology College, at your company, or at another training
- **Quality:** State-of-the-art training and development is provided by world-class instructors



Short Term Intensive Training - Weber State University

Short Term Intensive Training (STIT) is a state-funded program that allows businesses the opportunity to improve their workforce development by offering customized training courses for the organization's individual training needs. STIT serves organizations that need short-term, non-credit training. Customized courses using STIT can be delivered on-site day or evening through Weber State University's Division of Continuing Education.

For More Information Contact: Lauren Andersen, Director of Program Development
801-626-7449 · laurenandersen@weber.edu



Quality of Place



Ed Kenley Amphitheater

Quality of Place ... Our Best Incentive

**1-Gig
Internet**
-UTOPIA



As Seen On:



24/7 Wall St.

***"2015 Best Cities In America For
Young Adults To Get Rich"***
-Moneyunder30.com

348+
Acres of Parks

20+
Miles of Trails

20 miles
***to Snowbasin Resort
Home of the 2002 Olympic
Winter Games Super G***

Education



WEBER STATE
UNIVERSITY



Weber State University - Davis Campus

EDUCATION



Davis School District

The District School District (DSD) presently operates 62 elementary schools, 16 junior high schools, eight high schools and three alternative schools. DSD's enrollment is the second largest of any school district in the state and the first and only school district in Utah to receive a system-wide K-12 accreditation.

DSD is home to students who speak 67 different languages. The district also features a language immersion program where 12 of the district's elementary schools spend half their day learning curriculum in Spanish, French or Chinese. The immersion program can also be continued in junior high and high school.

The Manhattan Institute named DSD the nation's top graduation rate in 2006. In 2015, DSD had a graduation rate of **93 percent** - the highest among the school districts along the Wasatch Front. As of 2016 DSD graduates received \$53 million dollars in higher education scholarships.

- **Aerospace Pathway Certificate - Layton High Program** teaches aerospace manufacturing skills which leads to internships and career opportunities immediately out of high school.

Private Providers



Weber State University - Davis Campus

Located in Layton, the Weber State–Davis Campus offers a full range of services including 18 full degrees and certificates. The ratio of students to faculty is an impressive 21 to 1.

Weber State recently was ranked 17th nationally on Affordable Colleges' list of low-cost colleges with graduates who earn high starting salaries.

The Layton campus features diverse degree program in a variety of areas including

- **Healthcare**
- **Business**
- **Health & Wellness**
- **Design & Technology**
- **Criminal Justice**



Davis Applied Technology College

Davis Applied Technology College is recognized as one of the premier technical colleges in Utah and is focused on fulfilling the employee needs of businesses located in Davis County. The institution maintains four national partnerships with international corporations providing the highest quality, state-of-the-art equipment in the world to train new and existing employees.

- **100% Licensure Rate**
- **87% Placement Rate**

CONTACT LAYTON CITY

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